

1444 Algonquin Road Palatine, IL 60067

AVAILABLE SPACE:

- **1,500 - 4,950 SF**
w/ Drive Thru End Cap

4 MONTHS FREE RENT!!!

DRIVE THRU END CAP

\$34 per SF NET

EAST END CAP

\$24 per SF NET

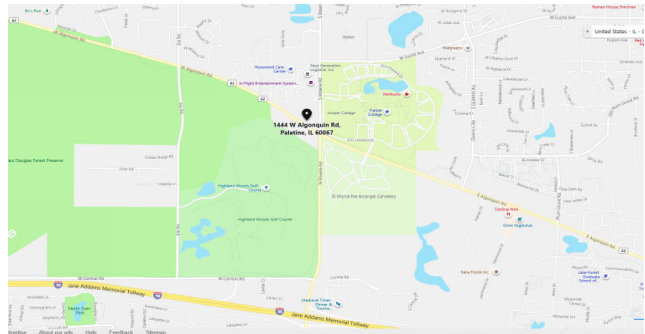


PROPERTY HIGHLIGHTS:

- **NEW** Development in Palatine
- Next Door to HIGH VOLUME
The PRIDE of Palatine BP
- Approximately 1 Mile North of NEW
I90 Roselle Road Ramp
- Directly across from **Harper College**
- Site has **FULL ACCESS** to Roselle Road
and Algonquin Road
- West End Cap has **DRIVE THRU**

LOCATION:

- North West Corner of
Algonquin Rd & Roselle Road
- Directly North of Roselle Road
Exit on I94



DEMOGRAPHICS:

Radius:	<u>1 Mile</u>	<u>3 Mile</u>	<u>5 Mile</u>
Population:	3,085	81,588	227,043
Avg. Income:	\$161,607	\$111,432	\$107,243

Traffic Count

- 57,500 vehicles per day

CIMA DEVELOPERS, LP.
30 W 180 Butterfield Rd., Warrenville, IL 60555
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THE PRIDE OF PALATINE GEOMETRIC PLAN

1400 W. ALGONQUIN ROAD, PALATINE, ILLINOIS

LEGEND

EXISTING	PROPOSED
	CURB & GUTTER
	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	STORM MANHOLE
	SANITARY MANHOLE
	CATCHBASIN
	INLET
	VALVE & VAULT
	VALVE & BOX
	REFLOW BOX
	FIRE HYDRANT
	FLARED END SECTION
	HANDICAPPED RAMP
	SPOT ELEVATION
	CONTOUR
	DRAINAGE FLOW
	CULVERT
	CONCRETE MONUMENT
	PARKING SPACE COUNT
	SURVEY CONTROL POINT
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	LIGHT STANDARD
	STREET LIGHT
	TRAFFIC LIGHT
	POWER POLE
	SIGN
	TREE
	GAS METER
	GAS VALVE
	FENCE
	BURIED UTILITY LINE
	OVERHEAD UTILITY LINE

FULL
ACCESS

FULL
ACCES

RIGHT IN
RIGHT OUT

CCHD NOTES:

- DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ALONG ROSELLE ROAD, ROSELLE ROAD SHALL REMAIN OPEN TO ALL TRAFFIC AT ALL TIMES. IF ANY ACTIVITY THAT REQUIRES ENCROACHMENT INTO THE LANE OPEN TO TRAFFIC, THAT ACTIVITY SHALL BE RESTRICTED TO WITHIN THE HOURS OF 9:00 A.M. TO 3:00 P.M. FOLLOWING THE IDOT AND IDOT-DISTRICT 1 TRAFFIC CONTROL STANDARDS FOR DAYTIME OPERATIONS USING FLAGGERS.
- EXISTING PAVEMENT MARKINGS AND/OR SIGNING ALONG ROSELLE ROAD DISTURBED DUE TO THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ALONG ROSELLE ROAD, THE CONTRACTOR SHALL REPLACE THE DISTURBED TRAFFIC CONTROL DEVICES FOLLOWING THE IDOT AND IDOT-DISTRICT 1 STANDARDS FOR PAVEMENT MARKINGS AND SIGNING.
- PROVIDE SIGNAGE AS INDICATED ON THIS THIS DRAWING IN ACCORDANCE WITH MUTCD, LATEST EDITION. ALL SIGNS WITHIN CCHD R.O.W. TO BE MOUNTED ON TELESCOPING STEEL SIGN SUPPORT (IDOT STANDARD 728001-01) AS SHOWN ON SHEET 12.

DEVELOPMENT DATA TABLE THE PRIDE OF PALATINE

DESCRIPTION	VALUE	UNIT	DESCRIPTION	VALUE	UNIT
Tax/Parcel identification numbers:	02-33-100-026, 02-33-100-027, 02-33-100-018				
Proposed Land Use: Commercial/Retail					
Total Property size:	2.6091	Acres	Buildings/Pavement:	92,001.33	Square Feet
	114,523.60	Square Feet		80.35	Percent
	92,001.33	Square Feet	Landscaping:	122,528.99	Square Feet
	80.35	Percent		79.65	Percent
Parking Spaces Provided:	Perpendicular: 31 spaces		Angled: 8 spaces	ADA: 4 spaces	
Number of Buildings: 2	Number of Stories: 1	Building Square Footage: 11,472 S.F.	GFA: 11,472 S.F.		

ENTRANCE SIGNAGE NOTE:
USE 2' SIGN IF TURNING ONTO MULTILANE ROAD WITH A SPEED LIMIT OF 40 MPH OR HIGHER. SEE ICD 28-42-01 (STIP 8023, R-4)

QUANTITIES:

PAVEMENT:
CURB AND GUTTER - 2,505 L.F.
CONCRETE LOADING AREA - 1,120 S.F.
CONCRETE SIDEWALKS, PATIO AND DUMPSTER PAIRS - 1,292 S.F.
CONCRETE APRONS - 1,558 S.F.
CONCRETE PUMP AREA - 11,227 S.F.
BITUMINOUS PAVEMENT - 53,957 S.F.

UTILITIES:

SANITARY SEWER - 256 L.F.
SANITARY SEWER MANHOLES - (4 REQ'D)
SANITARY SEWER CLEAN OUTS - (1 REQ'D)

STORM SEWER (12") - 642 L.F.
STORM SEWER (6") - 325 L.F.
STORM SEWER INLETS - (4 REQ'D)
STORM SEWER MANHOLES - (6 REQ'D)
RESTRICTOR MANHOLE - (1 REQ'D)

8" WATERMAIN - 65 L.F.
6" WATERMAIN - 338 L.F.
FIRE HYDRANTS - (2 REQ'D)
VALVE VAULTS - (4 REQ'D)
B-BOXES - (4 REQ'D)

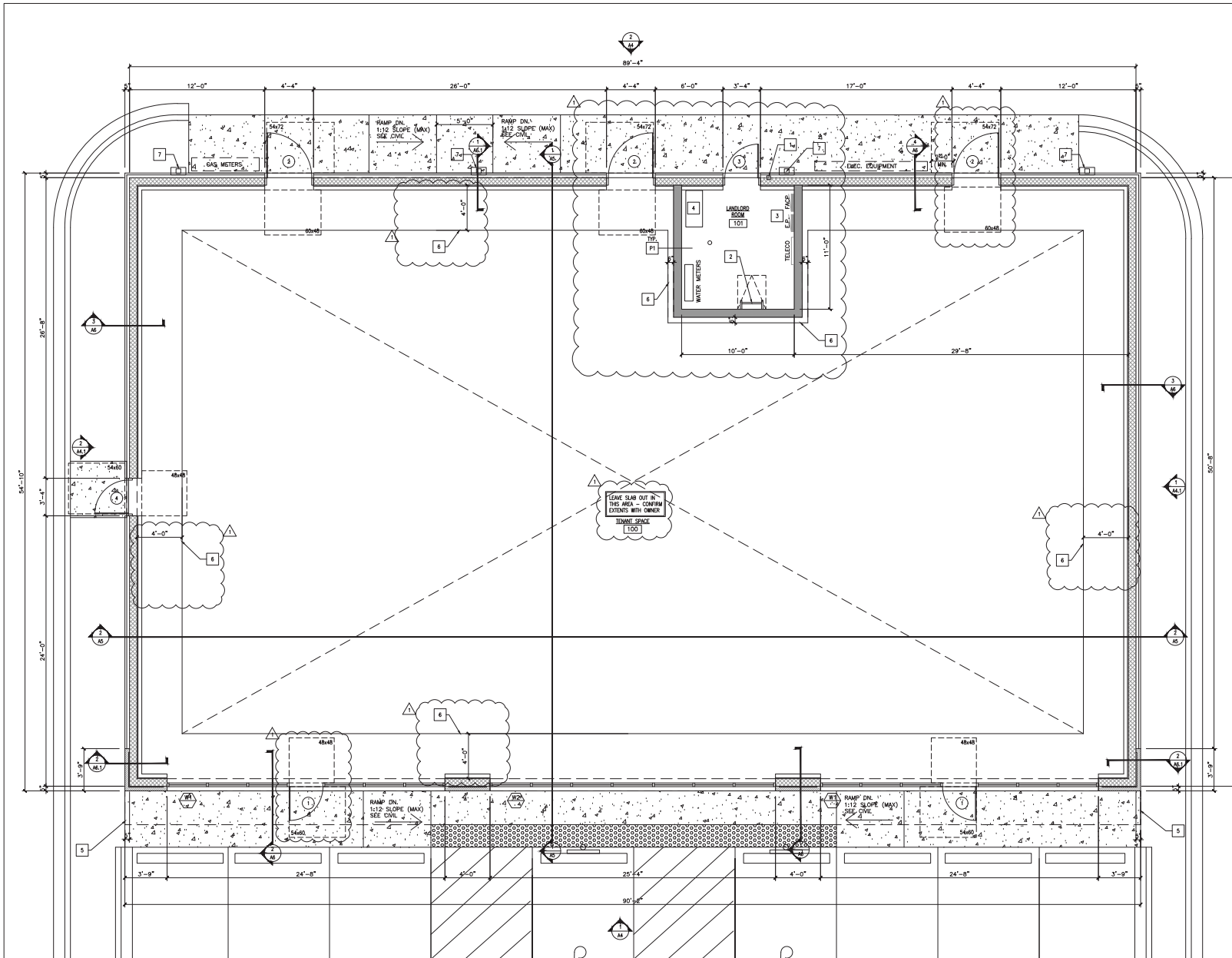
CONCRETE PADS,
SIDEWALKS AND CONCRETE
APPROACHES

PC CONCRETE WIDENING
4" GRANULAR SUB-BASE, 40" PC
CONCRETE RAMPED/BEFORE W/IN
OF 4" 6" WELDED WIRE MESH.

PERMEABLE PAVERS

NOTES:
1. SIDEWALK SURFACES WITHIN THE CLEARANCE
AREA SHALL NOT HAVE A CROSS SLOPE STEEPER
THAN 2:00, AND SHALL BE SLIP RESISTANT.
2. ALL PAVEMENT MARKINGS MUST BE POLYUREA
AND IN ACCORDANCE WITH IDOT SPECIFICATIONS.

REVISION	DATE	BY	DESCRIPTION	REASON	DATE	BY	DESCRIPTION	CLIENT	TITLE	SCALE
01-01-25	01-01-25	D.J.	REVIEW	CHECKED BY: WM	DATE: 01-01-25			DJA CIVIL ENGINEERS & SURVEYORS	GEOMETRIC PLAN	1" = 30'
01-01-25	01-01-25	D.J.	REVIEW	APPROVED BY: WM	DATE: 01-01-25				THE PRIDE OF PALATINE	DATE: 01-01-25
01-01-25	01-01-25	D.J.	REVIEW						1400 W. ALGONQUIN ROAD	JOB NO: 2014
01-01-25	01-01-25	D.J.	REVIEW						PALATINE, ILLINOIS	SHEET 3 OF 19



1 FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"



GENERAL NOTES

- ALL INTERIOR FINISHES TO HAVE A CLASS B FLAME SPREAD RATING OR BETTER.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE & ACCIDENT & FIRE PREVENTION REGULATIONS.
- ALL WORK SHALL BE DONE IN A SKILLED AND CAUTIOUS MANNER IN ORDER TO AVOID ACCIDENTS AND PROPERTY DAMAGE. DEMOLITION METHODS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FINISH WORK FOR THE DURATION OF THE PROJECT.
- UPON COMPLETION ALL WORK SHALL BE CLEANED, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAIN. ALL SCRAP, CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE SITE.
- INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE WALL.

LEGEND

- CMU WALL
- METAL STUD WALL
- METAL STUD WALL - SHEET ROCK
- STONE VENEER
- WINDOW TYPE, SEE A7
- DOOR TAG, SEE A7
- PARTITION TYPE, SEE DETAIL
- KEY NOTE SYMBOL

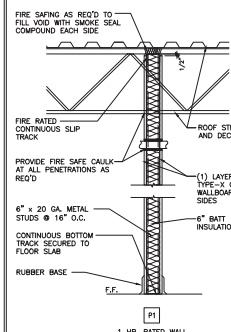
KEY NOTES

- SURFACE MOUNTED WIND-SON
- ROOF LAMEN - SEE DETAIL S/RB
- ELECTRICAL PANELS, SWITCHGEAR - SEE ELEC. DRAWINGS
- FIRE RISER (BY OTHERS)
- LINE OF FINISH ABOVE
- EDGE OF SLAB
- ALUMINUM DOWNSPOUT, CONNECT TO STORM SEWER. SEE CIVIL.

ENERGY COMPLIANCE NOTES

- THE COMPLETED BUILDING SHALL BE TESTED AND THE AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 40 CM/FT AT PRESSURE DIFFERENTIAL OF 0.5 INCH GAUGE. (SEE SEC. C402.4.2.3)
- AIR LEAKAGE OF WINDOWS SHALL BE TESTED BY MANUFACTURER PER REC. TABLE C402.4.3 AND LABELED.

PARTITION TYPE





bp

reg.

3.38

BP gasoline

with invigorate

diesel

3.57

HIGH FLOW DIESEL

\$3 CAR WASH

URBAN
COUNTER

Dogs. Burgers. Salads

tcbv
frozen yogurt

BEER WINE

plus SPIRITS

TENANT
PANEL

TENANT
PANEL

