

## 1444 Algonquin Road Palatine, IL 60067

### AVAILABLE SPACE:

- **1,500 - 4,950 SF**  
w/ Drive Thru End Cap

**4 MONTHS FREE RENT!!!**

**\$39 per SF NET - Drive Thru End Cap**

**\$29 per SF NET - East End Cap**

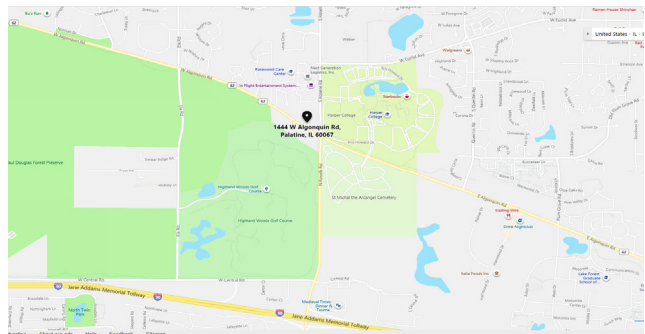


### PROPERTY HIGHLIGHTS:

- **NEW** Development in Palatine
- Next Door to newly constructed **The PRIDE of Palatine BP**
- Approximately 1 Mile North of NEW I90 Roselle Road Ramp
- Directly across from **Harper College**
- Site has **FULL ACCESS** to Roselle Road and Algonquin Road
- West End Cap has **DRIVE THRU**

### LOCATION:

- North West Corner of Algonquin Rd & Roselle Road
- Directly North of Roselle Road Exit on I94



### DEMOGRAPHICS:

Radius:	<u><b>1 Mile</b></u>	<u><b>3 Mile</b></u>	<u><b>5 Mile</b></u>
Population:	3,085	81,588	227,043
Avg. Income:	\$161,607	\$111,432	\$107,243

### Traffic Count

- 62,900 vehicles per day

**CIMA DEVELOPERS, LP.**  
30 W 180 Butterfield Rd., Warrenville, IL 60555  
O: 630.653.1700 F: 630.791.8283

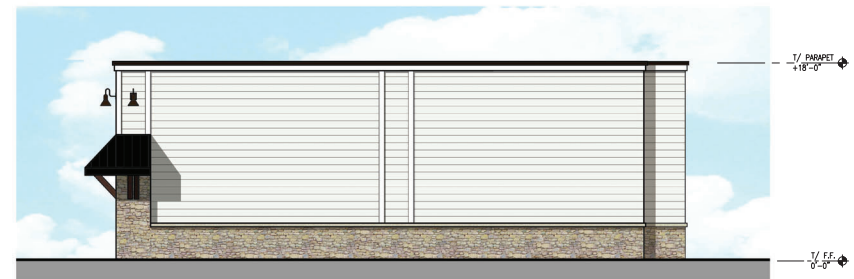
**Dan Soltis**  
dsoltis@CIMADevelopers.org  
www.CIMADevelopers.org



01-FRONT ELEVATION  
3/16" = 1'-0"



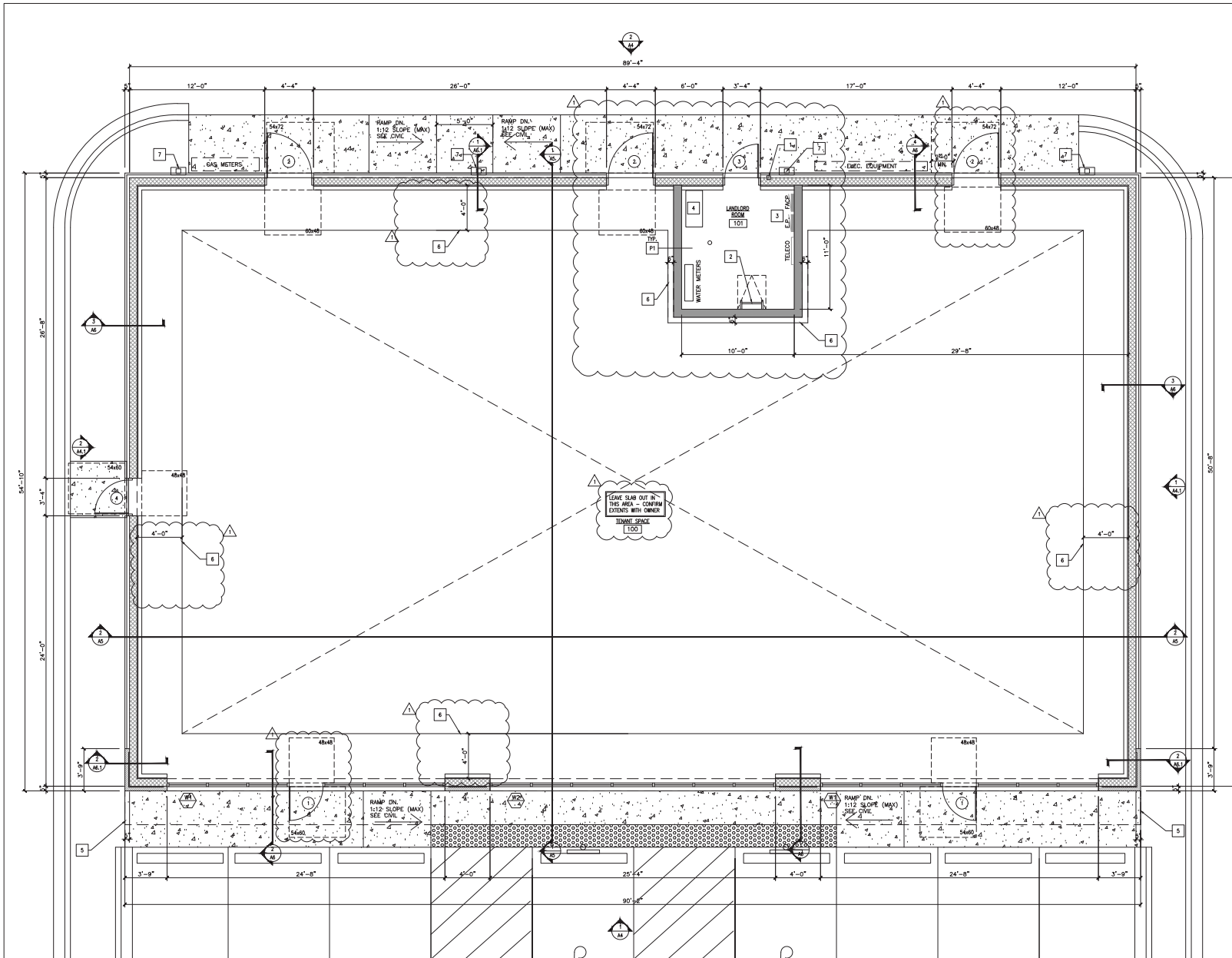
02-SIDE ELEVATION  
3/16" = 1'-0"



03-SIDE ELEVATION  
3/16" = 1'-0"



04-REAR ELEVATION  
3/16" = 1'-0"



1 FLOOR PLAN  
A1 SCALE: 1/4" = 1'-0"

# GENERAL NOTES

- ALL INTERIOR FINISHES TO HAVE A CLASS B FLAME SPREAD RATING OR BETTER.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE & ACCIDENT & FIRE PREVENTION REGULATIONS.
- ALL WORK SHALL BE DONE IN A SKILLED AND CAUTIOUS MANNER IN ORDER TO AVOID ACCIDENTS AND PROPERTY DAMAGE. DEMOLITION METHODS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FINISH WORK FOR THE DURATION OF THE PROJECT.
- UPON COMPLETION ALL WORK SHALL BE CLEANED, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAIN. ALL SCRAP, CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE SITE.
- INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE WALL.

## LEGEND

- CMU WALL
- METAL STUD WALL
- METAL STUD WALL - SHEET ROCK
- STONE VENEER
- WINDOW TYPE, SEE A7
- DOOR TAG, SEE A7
- PARTITION TYPE, SEE DETAIL
- KEY NOTE SYMBOL

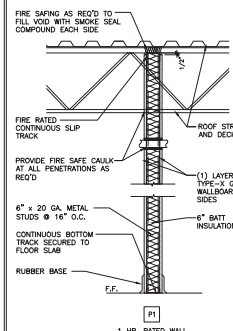
## KEY NOTES

- SURFACE MOUNTED HOOK-ON ROOF LAMEN - SEE DETAIL S/RB
- ELECTRICAL PANELS, SWITCHES - SEE ELEC. DRAWINGS
- FIRE RISER (BY OTHERS)
- LINE OF FINISH ABOVE
- EDGE OF SLAB
- ALUMINUM DOWNSPOUT, CONNECT TO STORM SEWER. SEE CIVIL.

## ENERGY COMPLIANCE NOTES

- THE COMPLETED BUILDING SHALL BE TESTED AND THE AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 40 CM/FT<sup>2</sup> AT PRESSURE DIFFERENTIAL OF 0.5 INCH GAUGE. (SEE SEC. C402.4.3.3)
- AIR LEAKAGE OF WINDOWS SHALL BE TESTED BY MANUFACTURER PER REC. TABLE C402.4.3 AND LABELED.

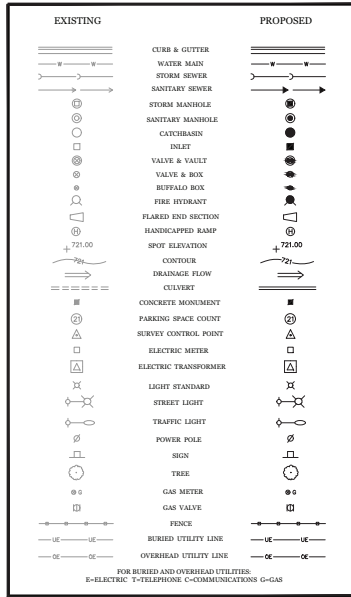
## PARTITION TYPE



# THE PRIDE OF PALATINE GEOMETRIC PLAN

1400 W. ALGONQUIN ROAD, PALATINE, ILLINOIS

## LEGEND



## CCHD NOTES:

- DURING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ALONG ROSELLE ROAD, ROSELLE ROAD SHALL REMAIN OPEN TO ALL TRAFFIC AT ALL TIMES. IF ANY ACTIVITY THAT REQUIRES ENCROACHMENT INTO THE LANE OPEN TO TRAFFIC, THAT ACTIVITY SHALL BE RESTRICTED TO WITHIN THE HOURS OF 9:00 A.M. TO 3:00 P.M. FOLLOWING THE IDOT AND IDOT-DISTRICT 1 TRAFFIC CONTROL STANDARDS FOR DAYTIME OPERATIONS USING FLAGGERS.
- EXISTING PAVEMENT MARKINGS AND/OR SIGNING ALONG ROSELLE ROAD DISTURBED DUE TO THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ALONG ROSELLE ROAD, THE CONTRACTOR SHALL REPLACE THE DISTURBED TRAFFIC CONTROL DEVICES FOLLOWING THE IDOT AND IDOT-DISTRICT 1 STANDARDS FOR PAVEMENT MARKINGS AND SIGNING.
- PROVIDE SIGNAGE AS INDICATED ON THIS THIS DRAWING IN ACCORDANCE WITH MUTCD, LATEST EDITION. ALL SIGNS WITHIN CCHD R.O.W. TO BE MOUNTED ON TELESCOPING STEEL SIGN SUPPORT (IDOT STANDARD 728001-01) AS SHOWN ON SHEET 12.

## DEVELOPMENT DATA TABLE THE PRIDE OF PALATINE

DESCRIPTION	VALUE	UNIT	DESCRIPTION	VALUE	UNIT
Tax/Parcel identification numbers:	02-33-100-026, 02-33-100-027, 02-33-100-018				
Proposed Land Use: Commercial/Retail					
Total Property size:	2.6091	Acres	Buildings/Pavement:	92,001.33	Square Feet
	114,523.60	Square Feet		80.35	Percent
	92,001.33	Square Feet	Landscaping:	122,538.99	Square Feet
	80.35	Percent		79.65	Percent
Parking Spaces Provided:	Perpendicular: 41 spaces		Angled: 8 spaces	ADA: 4 spaces	
Number of Buildings: 2	Number of Stories: 1	Building Square Footage: 11,472 S.F.	GFA: 11,472 S.F.		

## ENTRANCE SIGNAGE NOTE:

USE 30" SIGN IF TURNING ONTO MULTILANE ROAD WITH A SPEED LIMIT OF 40 MPH OR HIGHER. SEE ICD 28-424-07 (STREET SIGN, B-1)

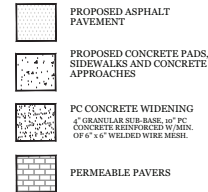
## QUANTITIES:

**PAVEMENT:**  
CURB AND GUTTER - 2,505 L.F.  
CONCRETE LOADING AREA - 1,120 S.F.  
CONCRETE SIDEWALKS, PATIO AND DUMPSTER PAIRS - 1,292 S.F.  
CONCRETE APRONS - 1,558 S.F.  
CONCRETE PUMP AREA - 11,227 S.F.  
BITUMINOUS PAVEMENT - 53,957 S.F.

## UTILITIES:

SANITARY SEWER - 256 L.F.  
SANITARY SEWER MANHOLES - (4 REQ'D)  
SANITARY SEWER CLEAN OUTS - (1 REQ'D)  
  
STORM SEWER (12") - 642 L.F.  
STORM SEWER (6") - 325 L.F.  
STORM SEWER MANHOLES - (6 REQ'D)  
STORM SEWER INLETS - (4 REQ'D)  
RESTRICTOR MANHOLE - (1 REQ'D)  
  
8" WATERMAIN - 65 L.F.  
6" WATERMAIN - 338 L.F.  
FIRE HYDRANTS - (2 REQ'D)  
VALVE VAULTS - (2 REQ'D)  
B-BOXES - (4 REQ'D)

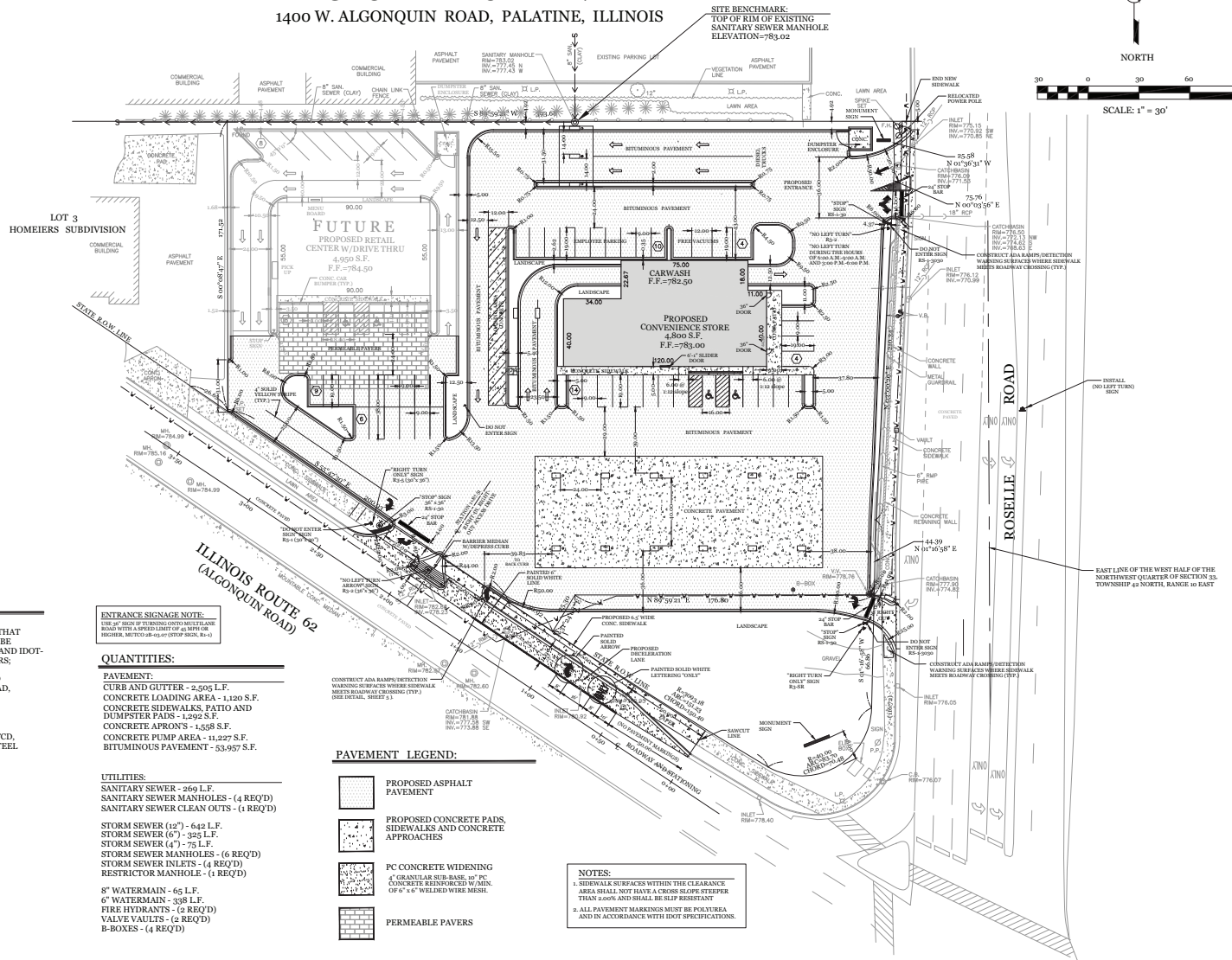
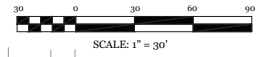
## PAVEMENT LEGEND:



**NOTES:**  
1. SIDEWALK SURFACES WITHIN THE CLEARANCE AREA SHALL NOT HAVE A CROSS SLOPE STEEPER THAN 3:00, AND SHALL BE SLIP RESISTANT.  
2. ALL PAVEMENT MARKINGS MUST BE POLYUREA AND IN ACCORDANCE WITH IDOT SPECIFICATIONS.



NORTH



REVISIONS					DESIGN BY:					CLIENT:					TITLE:					SCALE:				
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION				
08-08-25	D.J.	REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW	08-22-27	D.J.	PER VILLAGE REVIEW				
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